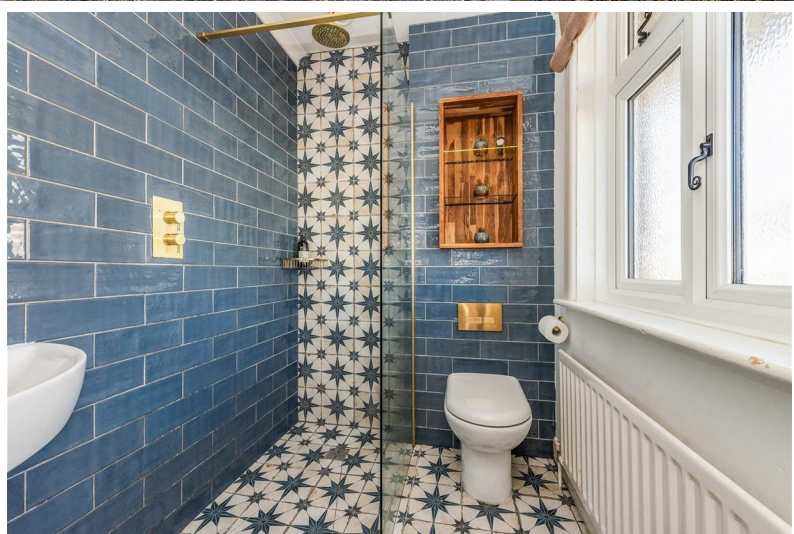




31 Tollgate Road, Andover, SP10 3RE
Guide Price £450,000



31 Tollgate Road, Andover, Guide Price £450,000

PROPERTY DESCRIPTION BY Mr Ross Beeden

Graham & Co are delighted to offer to the market this charming semi-detached extended family home offering a perfect blend of space and comfort. Spanning an impressive 1,289 square feet, the property boasts two inviting reception rooms, providing ample space for relaxation and entertaining guests.

The house features three well-proportioned bedrooms, including a loft conversion that serves as the third bedroom.

One of the standout features of this property is the large extension that enhances the kitchen area, creating a bright and airy space adding functionality but also serving as a wonderful gathering spot for family meals.

The property offers parking for up to four vehicles and additionally a garage which provides extra storage or the potential for a workshop, while the studio presents an excellent opportunity for a home office or creative space. The rear garden is a fantastic size and a rare find making it absolutely ideal for the family to enjoy.

The large garden is a true highlight, offering a private outdoor retreat for relaxation, gardening, or entertaining during the warmer months. This outdoor space is perfect for families, providing a safe area for children to play and for adults to unwind.

In summary, this semi-detached house on Tollgate Road is a fantastic opportunity for anyone seeking a spacious and versatile home in Andover. With its generous living areas, modern extensions, and ample outdoor space, it is sure to appeal to a wide range of buyers.



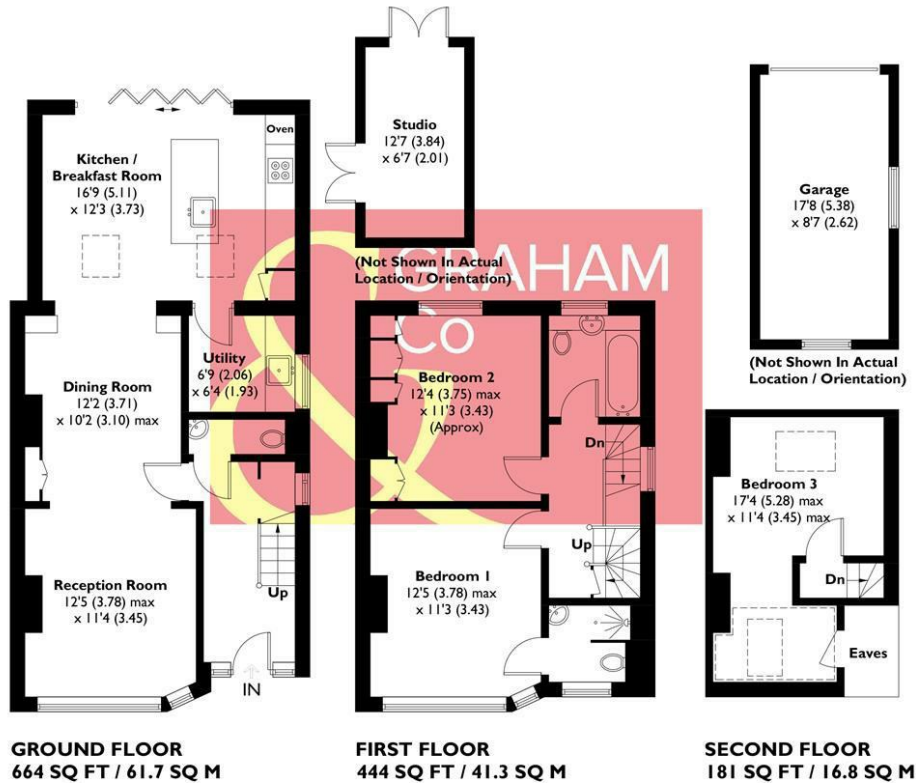


Andover offers a good range of shopping and recreational facilities including a theatre, cinema, new leisure centre, excellent selection of schools and a college for higher education. An abundance of open space and land with a selection of local nature reserve's all within walking distance of the town centre. The town itself boasts a lovely "market town" feel and everything you may need is close at hand. The mainline train station offers a fast service to London Waterloo in just over an hour, and the A303 gives access to London via the M3 and the West Country.





APPROXIMATE GROSS INTERNAL AREA = 1289 SQ FT / 119.8 SQ M
GARAGE / STUDIO = 232 SQ FT / 21.6 SQ M
TOTAL = 1521 SQ FT / 141.4 SQ M



This plan is for layout guidance only. Not drawn to scale unless stated. Windows and door openings are approximate. Whilst every care is taken in the preparation of this plan, please check all dimensions, shapes and compass bearings before making any decisions reliant upon them. Created by Emzo Marketing (ID1278647)
Produced for Graham & Co

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Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
A (92-100)		
B (81-91)		
C (69-80)	69	77
D (55-68)		
E (39-54)		
F (21-38)		
G (1-20)		
Not energy efficient - higher running costs		
England & Wales EU Directive 2002/91/EC		

Tax Band: D



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IMPORTANT: we would like to inform prospective purchasers that these sales particulars have been prepared as a general guide only. A detailed survey has not been carried out, nor the services, appliances and fittings tested. Room sizes should not be relied upon for furnishing purposes and are approximate. If floor plans are included, they are for guidance only and illustration purposes only and may not be to scale. If there are any important matters likely to affect your decision to buy, please contact us before viewing the property.

